

# SUBMITTAL REQUIREMENTS FOR MANUFACTURED HOMES

When submitting your application for a Residential project please include the following:

1. Completed Building Permit Application
2. If this is a new home (stick built, manufactured or industrialized home) please have your 911 address on your application, if you do not have a 911 address please call Emergency Management at 724-349-9300 to obtain one.
3. For homes that are using a private septic system and are not on a public system, we will need a copy of the paper you were given by the sewage enforcement officer. Office hours are Monday 8 am – 4 pm or by appointment.

Telephone number is (724) 354-4772  
Address: 110 Kimmel School Road,  
PO Box 368, Elderton, PA 15736

For homes that are on a public septic system, please make sure that you have applied and paid for a tap in to the system.

4. If you don't know your tax parcel number for your property, to put on your application, please contact the Tax Office at 724-465-3812.
5. Two (2) complete sets of drawings for your building project.
6. One (1) Site Plan on 8 ½ x 11 sheet of paper – blue or black ink only
7. A copy of the Highway Access Permit from either Penndot or your Municipality (Township or Borough), if you are putting in a new home with a new driveway.
8. Your contractor's workman's compensation and liability insurance. If you are not using a contractor or your contractor doesn't have workman's compensation insurance, please complete the Workman's Comp form and have it notarized.
9. \$25.00 non-refundable application fee – please make checks payable to **Indiana County Code Division**

# INDIANA COUNTY

Office of Planning and Development  
801 Water Street  
Indiana, PA 15701  
(724) 465-3870 Fax (724) 465-3151

FOR OFFICE USE ONLY

Permit # \_\_\_\_\_

Date: \_\_\_\_\_

## Building Permit Application ~Residential New Manufactured Home~

Site Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Municipality \_\_\_\_\_ Township / Borough \_\_\_\_\_

Estimated Cost of Project \$ \_\_\_\_\_



**YOU MUST PROVIDE A TAX PARCEL  
NUMBER FOR THE PROPERTY AT THE  
SITE ADDRESS LISTED ABOVE**

Tax Parcel # \_\_\_\_\_

Homeowner's Name \_\_\_\_\_

Current Mailing Address of Homeowner \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Homeowner's  
Phone Number \_\_\_\_\_ Cell Phone \_\_\_\_\_

Homeowner's E-mail Address: \_\_\_\_\_

Water Supply \_\_\_\_\_

Sewage \_\_\_\_\_

Electricity provider: \_\_\_\_\_

Type of Heat: \_\_\_\_\_

Central Air: Yes No

Does it have a basement? ☐ Yes ☐ No

Certified Installer \_\_\_\_\_

Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Phone \_\_\_\_\_ Fax \_\_\_\_\_ Cell Phone \_\_\_\_\_

E-mail Address: \_\_\_\_\_

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**Contractor:** \_\_\_\_\_

Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Phone \_\_\_\_\_ Fax \_\_\_\_\_ Cell Phone \_\_\_\_\_

E-mail Address: \_\_\_\_\_

Applicant:

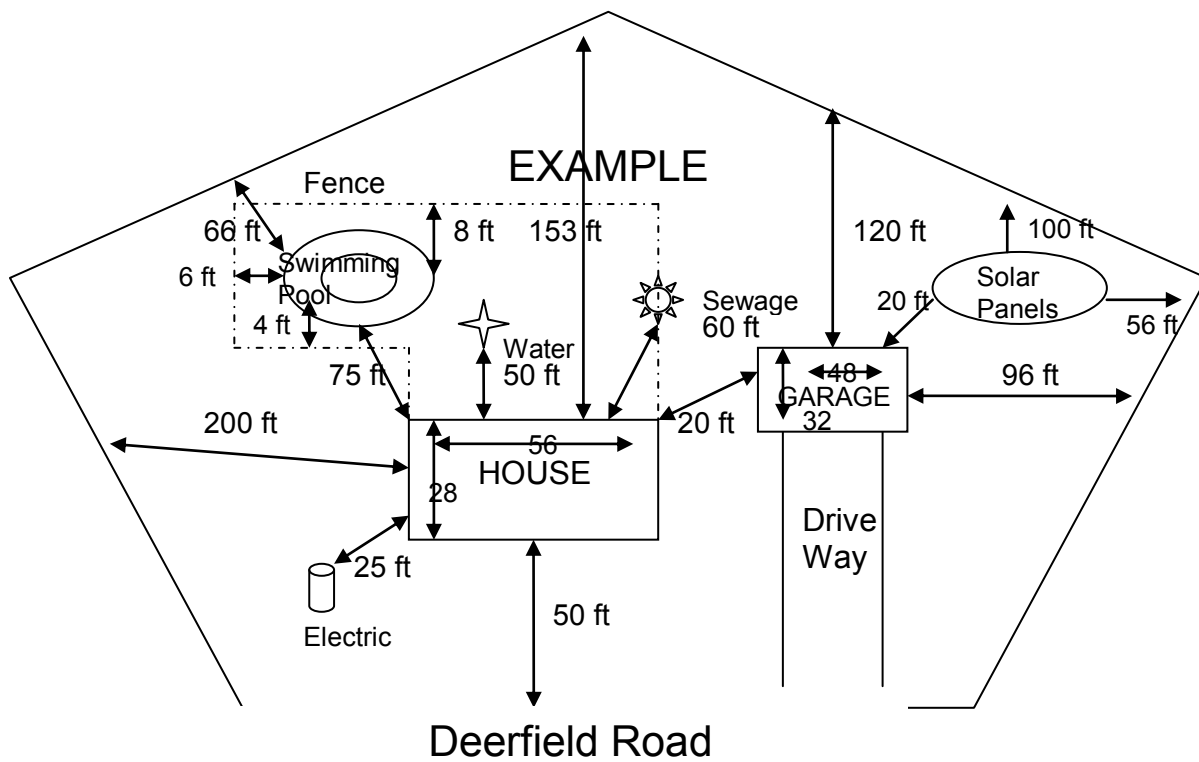
\_\_\_\_ HOME-OWNER \_\_\_\_ CONTRACTOR

\_\_\_\_\_  
Signature Date

# SITE PLAN REQUIREMENTS FOR RESIDENTIAL MANUFACTURED HOME PROJECTS

The Site Plan drawing shall be submitted on 8 ½ X 11 paper and shall include:

- Distance from property lines and roadway and any other structures on the property.
- Show the outside dimensions of the proposed dwelling.
- All utility layouts (including sewage, electric and water)
- Driveway layouts and specifics



## **PENNSAFE BUILDING INSPECTION SERVICES LLC**

### **RESIDENTIAL MANUFACTURED AND MODULAR HOMES SUBMITTAL HANDOUT**

Every item below must be checked as completed (if applicable), or marked n/a (if not applicable), for your project. This form must be completed in its entirety then returned with attached drawings.

**CHECK ONE: MODULAR (Industrialized) ☐ MANUFACTURED DOUBLE OR SINGLE WIDE ☐**

**CHECK ONE: NEW HOME ☐ USED HOME ☐**

- ☐ Permit Application
- ☐ Two (2) full sets of plans
- ☐ Manufacturers Installation Manual to be located at project site
- ☐ Manufactured Home Installer Certification must be provided before receiving Occupancy Permit.

**\*\*The following items are required to be included on the building plan drawings\*\***

- ☐ Site plan showing all exterior setbacks
- ☐ Floor plan layout of home interior
- ☐ Footer Specifications
- ☐ When basement is provided - Foundation Specification
- ☐ Approved tie down anchoring system
- ☐ Support pier specifications and installation method
- ☐ Energy Code Requirements
- ☐ Onsite Mechanical System – equipment, materials and layout
- ☐ Onsite Plumbing system – equipment, materials and layout
- ☐ Onsite electrical system must conform to the UCC adopted version of the NEC.
- ☐ Deck and porch plans- must have minimum 3' X 3' landing and be self-supporting.
- ☐ If full basement – indicate type of provided means of egress.
- ☐ Provide complete drawings of any structural work (such as a garage) to be performed in the field and was not factory inspected.

If the Manufacturer's Installation Instruction Manual is not available, then the A225.1-1994 Existing Manufactured Home Standard must be followed.

**(Continued)**

## **INSTALLATION REQUIREMENTS AND METHODS**

### **FOOTER OPTIONS: (Check one)**

- ☐ **Concrete Pier Footings Round** – Provide 36" deep minimum frost protection when skirting is installed – 48" without skirting. For piers spaced no more than 8' apart, holes should be 28" diameter, unless soil bearing capacity is greater than 1,500 lbs. per square foot.
- ☐ **Concrete Pier Footings, Runners** – Provide 36" deep minimum frost protection when skirting is installed – 48" without skirting. For piers spaced no more than 8' apart, footings must be 24" wide, unless soil bearing capacity is greater than 1,500 lbs. per square foot.

### **FOUNDATION OPTIONS: (Check one)**

- ☐ **Main Support Piers** – Generally within 2' from each end, and spaced 8' apart. A single stack concrete block pier capacity is 8,000 lbs., up to 36". Piers higher than 36' require double blocks, interlocked. No mortar required for piers less than 80" high. Cap blocks must be full size (16x16 pier requires 16x16 cap block).
- ☐ **Full Foundation** – Plan and specifications required. Cross section submittals are available for your drawings. Verify that all imposed structural loads are properly supported.

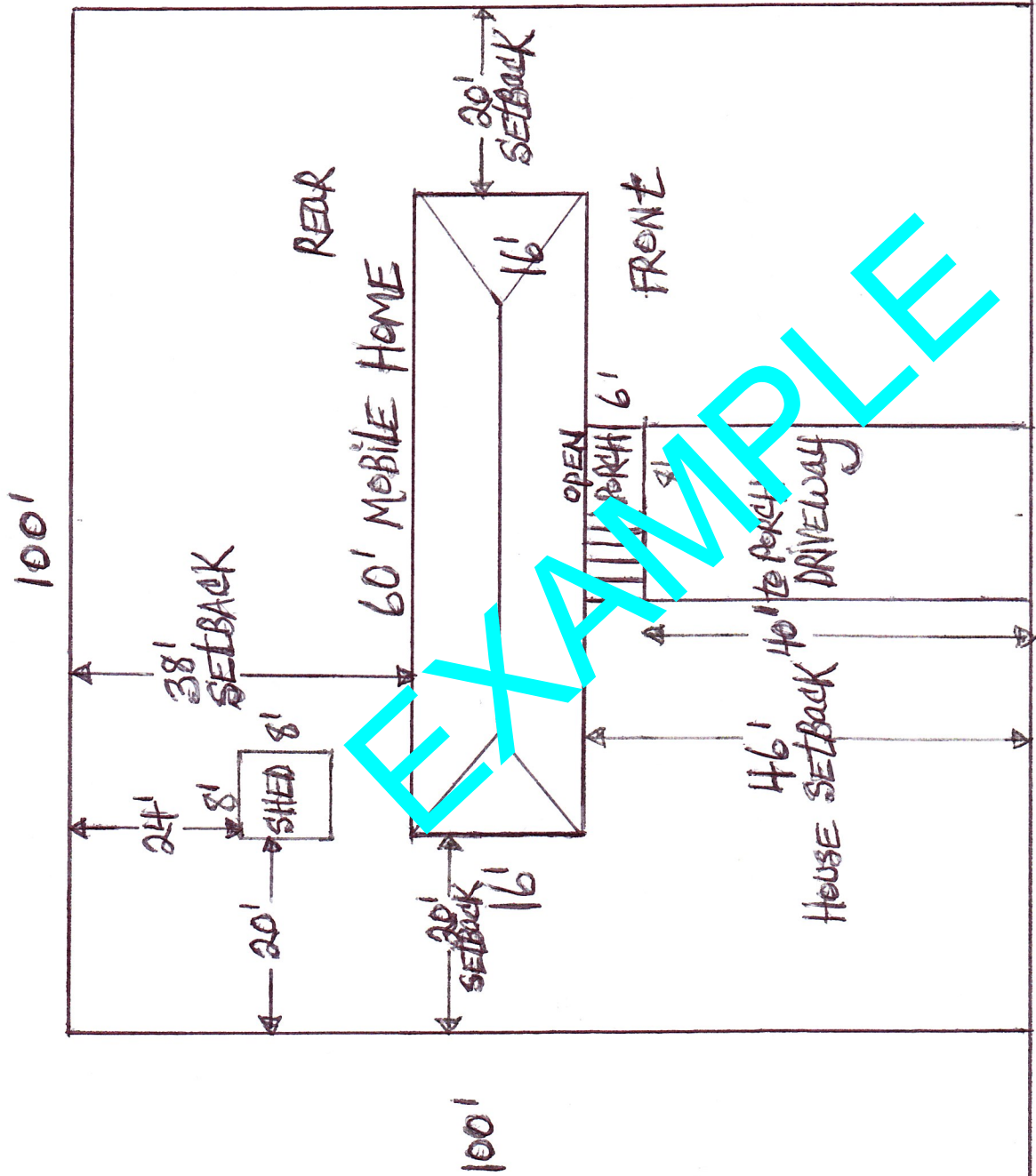
### **ANCHORING METHODS (Check one)**

- ☐ **Auger and Strap Type:** Installed within 2' of the end of the home, then generally 11' spaced apart. Install below frost line. Closely follow manufacturer's installation instructions.
- ☐ **Alternative systems** - Vector systems, OTI system. Any stamped engineered or alternative system approved by the manufacturer. Must be approved by Manufacturer and their DAPIA.

### **INSPECTION SCHEDULE – Always provide a minimum of 24 hours notice.**

1. Foundation (before placing footings)
2. Concrete slab or under floor (prior to pouring concrete floor)
3. Anchorage (after home is set in place, installed and anchored)
4. Service Equipment – Electrical, Plumbing, Mechanical work performed in field.
5. Frame (call before covering any work performed in field)
6. Means of egress (Decks & Porches)
7. Final (prior to occupancy)

**\*\*THIS COMPLETED FORM MUST BE SUBMITTED WITH THE PROJECT PLANS AND DRAWINGS\*\***



WAYNE ROAD - SANDY TOWNSHIP  
SAMPLE SITE PLAN

# PENNSAFE SAMPLE PIER PLAN - MOBILE HOME

My Actual Home Size is        WIDE X        DEEP. 100 AMP POLE SERVICE



## FOOTER AND ANCHOR SPECS:

1. CONCRETE PIER FOOTINGS 36" DEEP - 28" DIAMETER SPACED PER DRAWING.
2. CONCRETE BLOCK SUPPORTS PLACED ON TOP OF PIERS UP TO SUPPORT BEAMS.
3. ANCHOR AND TIE DOWN SYSTEMS AUGER AND STRAP TYPE INSTALLED MAXIMUM 11' APART. ALL OTHER TYPES INSTALLED PER MANUFACTURER SPECIFICATIONS.



60'-0"

15'-2"

1500

54" TUB/SHOWER

WALK IN CLOSET

OPT. H.B.

MASTER BED 12'-2"x9'-2"

SNACK BAR

KITCHEN 10'-0"x10'-0"

OPT. H.B.

DINING

LIVING ROOM 14'-5"x14'-6"

FURN

BED 2 11'-0"x9'-2"

BED 3 9'-2"x9'-2"

UTILITY

W/OPT. D

W/H

ACCESS

54" TUB/SHOWER

OPT. H.B.



# PENNSAFE BUILDING INSPECTION SERVICES LLC

## Deck and Roof Cross Section Submittal

Roof Size: Width: \_\_\_\_\_ Length: \_\_\_\_\_

Roof Type: Gable: \_\_\_\_\_ Hip: \_\_\_\_\_ Shed: \_\_\_\_\_

Roof Pitch: \_\_\_\_\_

(check one) Trusses: \_\_\_\_\_ Rafters: \_\_\_\_\_

Spacing of Trusses or Rafters: \_\_\_\_\_

Rafter Size and Span: \_\_\_\_\_

Ridge Beam: Size: \_\_\_\_\_ Span: \_\_\_\_\_

Roof Sheathing: \_\_\_\_\_

Roof Covering: \_\_\_\_\_

Roof Header Beam: Size: \_\_\_\_\_ Span: \_\_\_\_\_

Deck Size: Width: \_\_\_\_\_ Length: \_\_\_\_\_

Footer Size: Width: \_\_\_\_\_ Length: \_\_\_\_\_

Carrier Beam: Size: \_\_\_\_\_ Span: \_\_\_\_\_

Type of Floor Joist: \_\_\_\_\_

Floor Joist: Size: \_\_\_\_\_ Span: \_\_\_\_\_

Decking Material: \_\_\_\_\_

Number of Steps: \_\_\_\_\_

Riser Height: \_\_\_\_\_

Tread Depth: \_\_\_\_\_

